

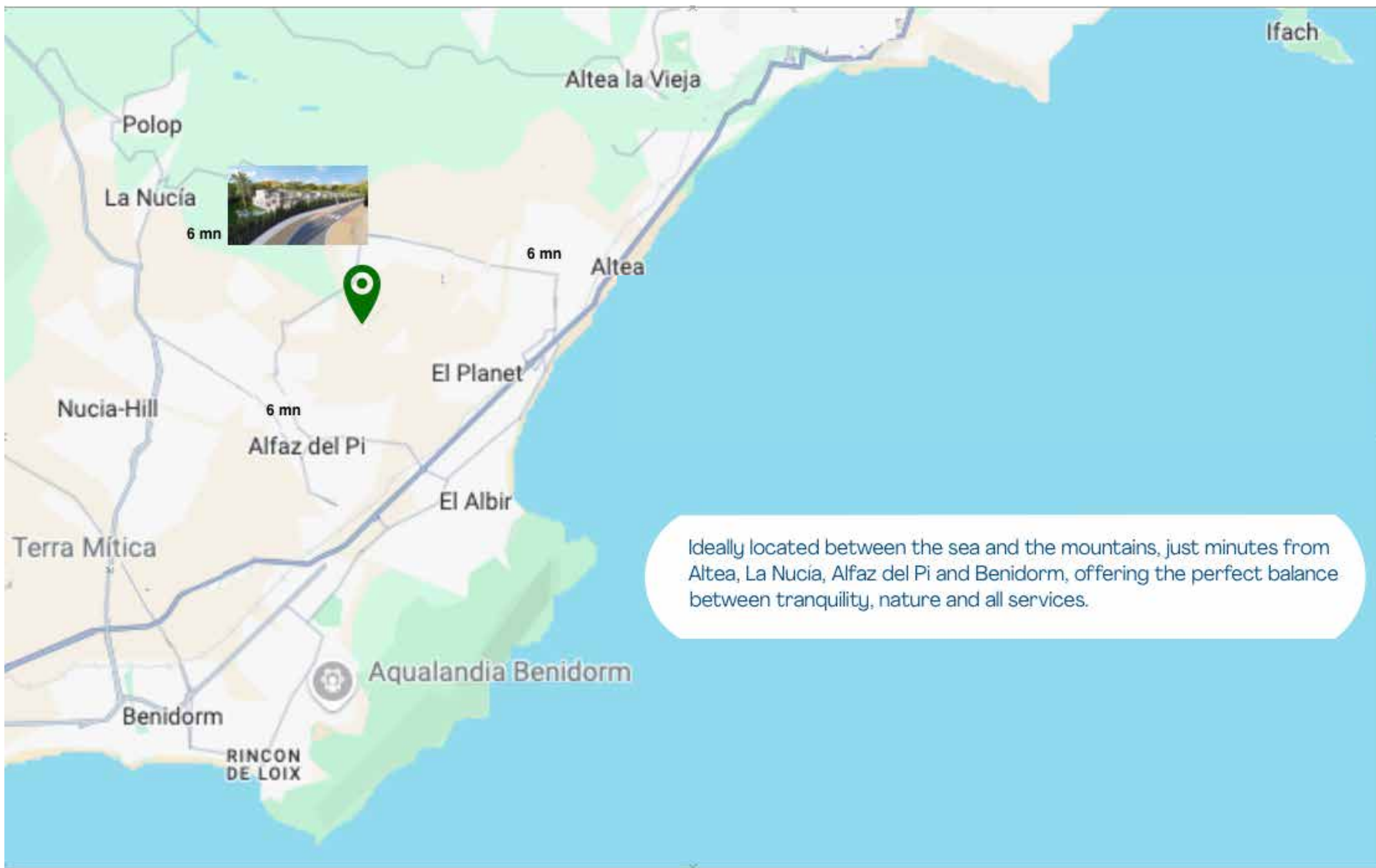
# Private Residential

Contemporary architecture between sea and mountains.



Non-contractual and merely illustrative images

**Visit the Show Villa from 5 of September**





# Location.

Imagine living in a quiet area enjoying the best climate in Europe, just 5 minutes from the coast and the mountains.

An opportunity to live in contact with nature and, at the same time, be able to enjoy leisure, sports and culture, without giving up anything.

This is your chance!



Casco  
Antiguo



Golf  
Don Cayo



Benidorm



# The environment.

You will certainly be delighted with the cultural and gastronomic offerings that this cosmopolitan and rural area has to offer. In addition, you will be close to two large cities such as Valencia and Alicante.

Alicante Airport is only 50 minutes away.



**Discover an innovative project, a pioneer in the use of ideal materials for optimal living comfort. With a design integrated into the wonderful surroundings of the Private Residential Don Julio, where you will fully enjoy the warm climate of the Costa Blanca thanks to an optimal orientation.**



Non-contractual and merely illustrative images

**A large parking area for several vehicles at the entrance to your plot from the private access road of the residential complex.**



Non-contractual and merely illustrative images

**Bright and spacious The ground floor, comfortable and welcoming, offers a generous useful area of 178.50 m<sup>2</sup>, carefully designed to provide comfortable daily life. This floor has two bedrooms with bathrooms**

**On the upper floor of 123.90 m<sup>2</sup> useful there are two bedrooms with bathrooms en-suite and their bioclimatic terrace.**

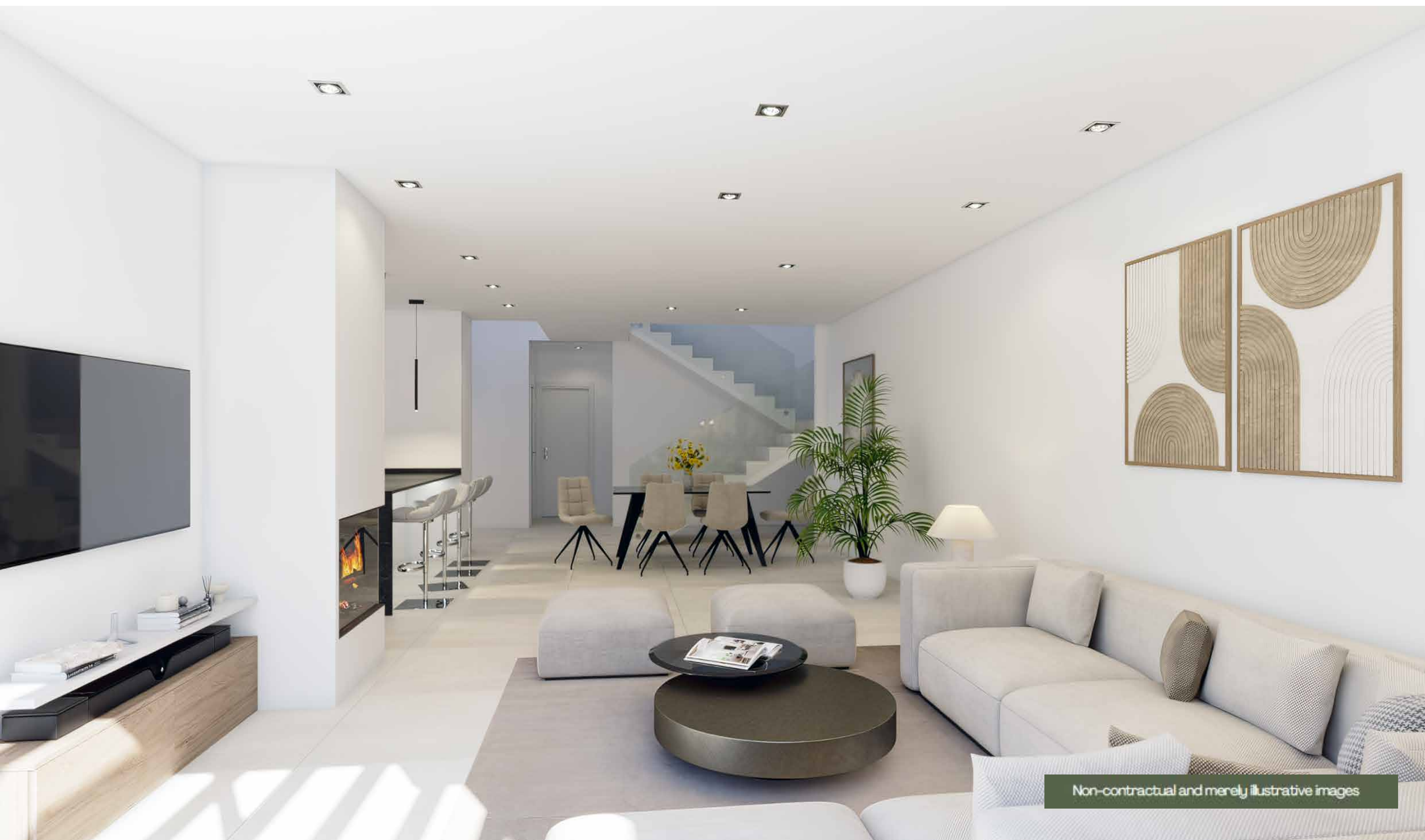


Non-contractual and merely illustrative images

**The villas are equipped with the latest technological innovations: atherothermal heating, solar panels, underfloor heating, air conditioning with a recirculation system, and more, all designed to maximize efficiency and minimize consumption. Furthermore, each villa has an A energy rating.**



Non-contractual and merely illustrative images



Non-contractual and merely illustrative images

**Modern and functional design, equipped with high-end Siemens appliances. Access to the covered terrace and barbecue area. An integrated door leads to the rear pantry and parking.**

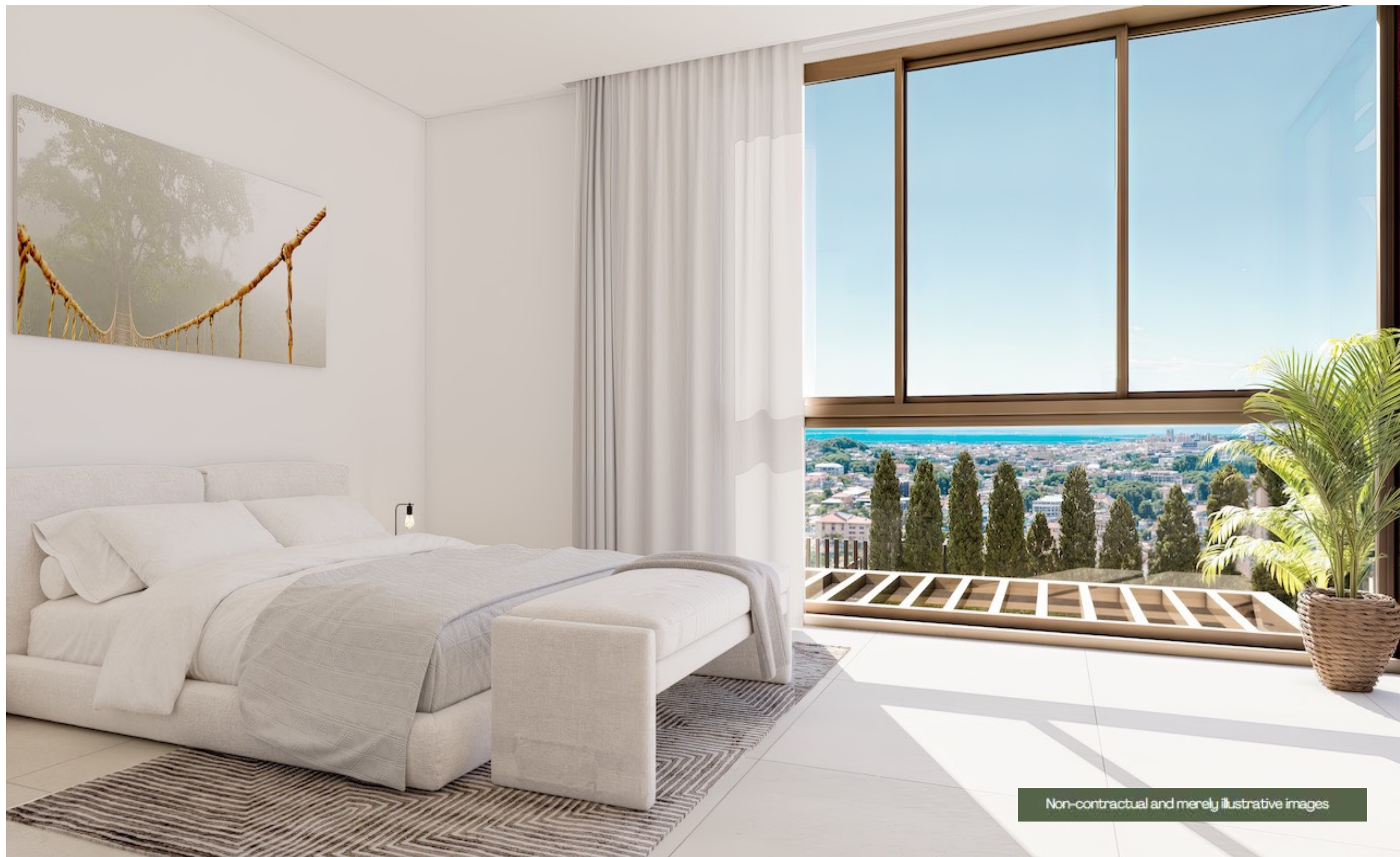


Non-contractual and merely illustrative images

**With direct access to the kitchen and covered parking area.**



Non-contractual and merely illustrative images



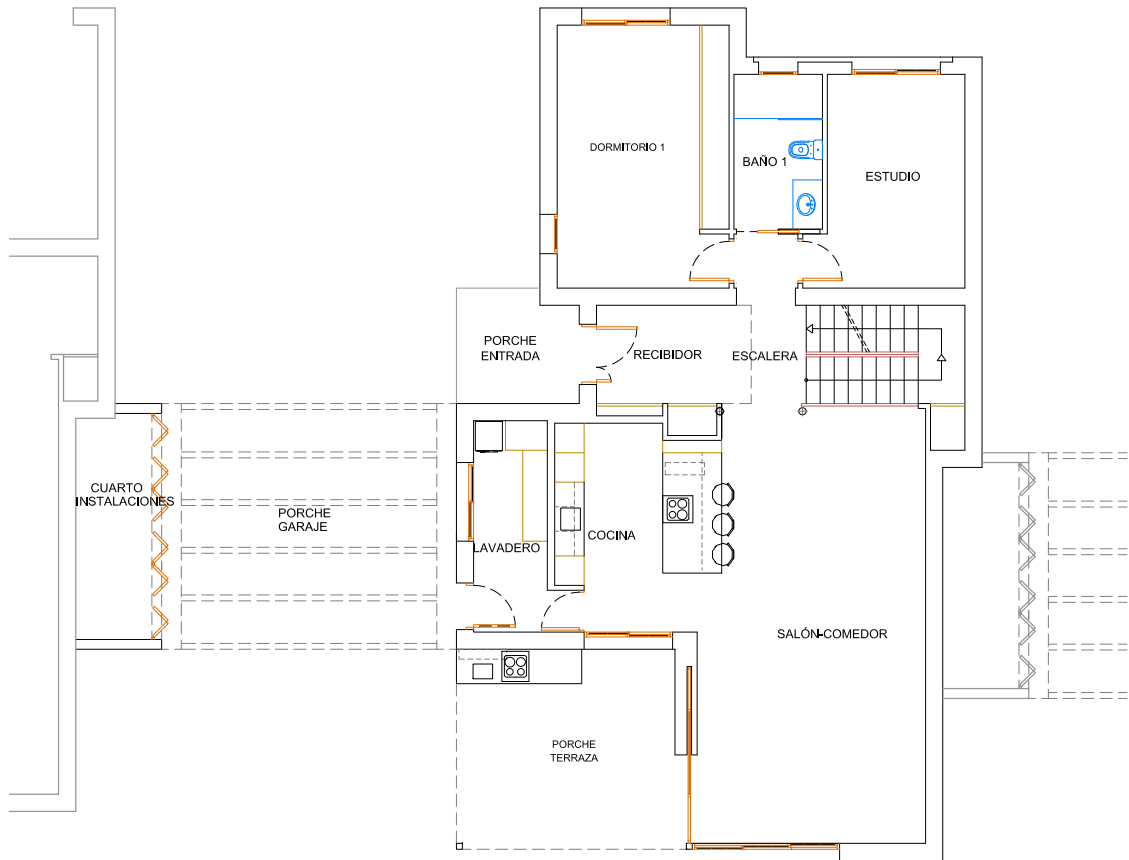
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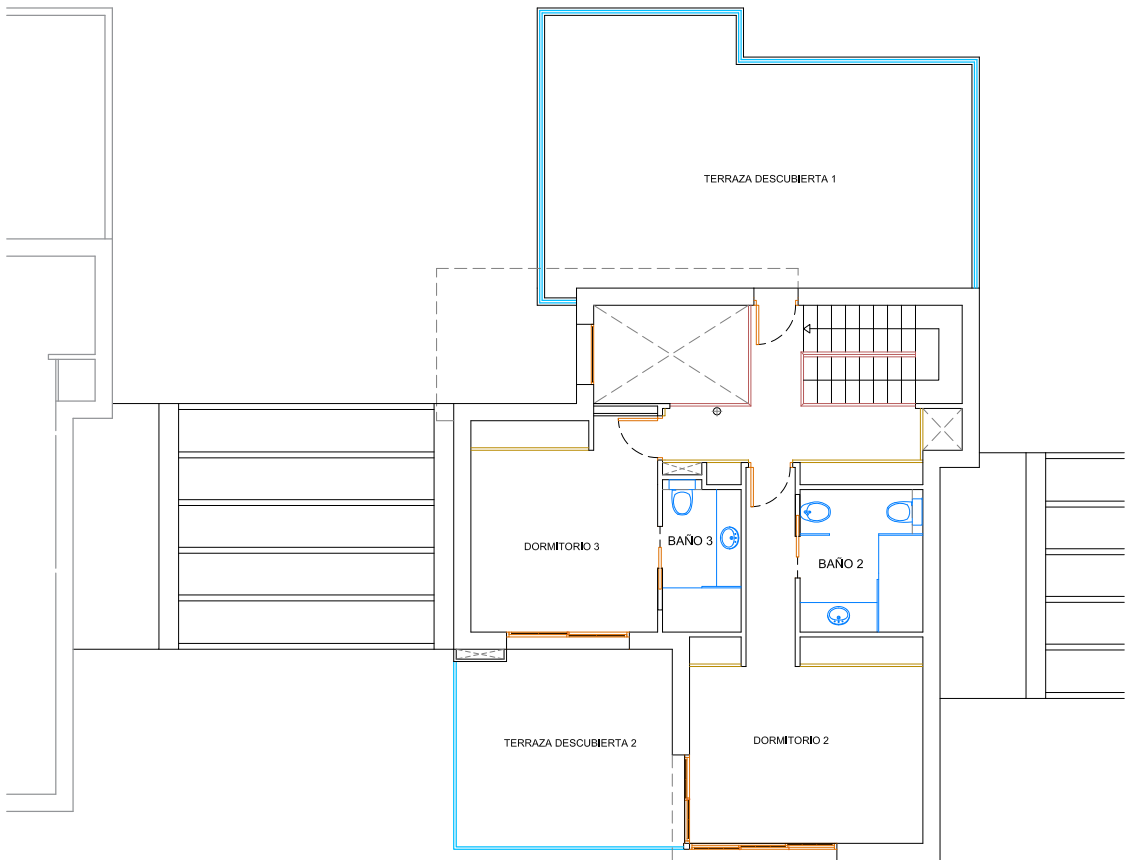
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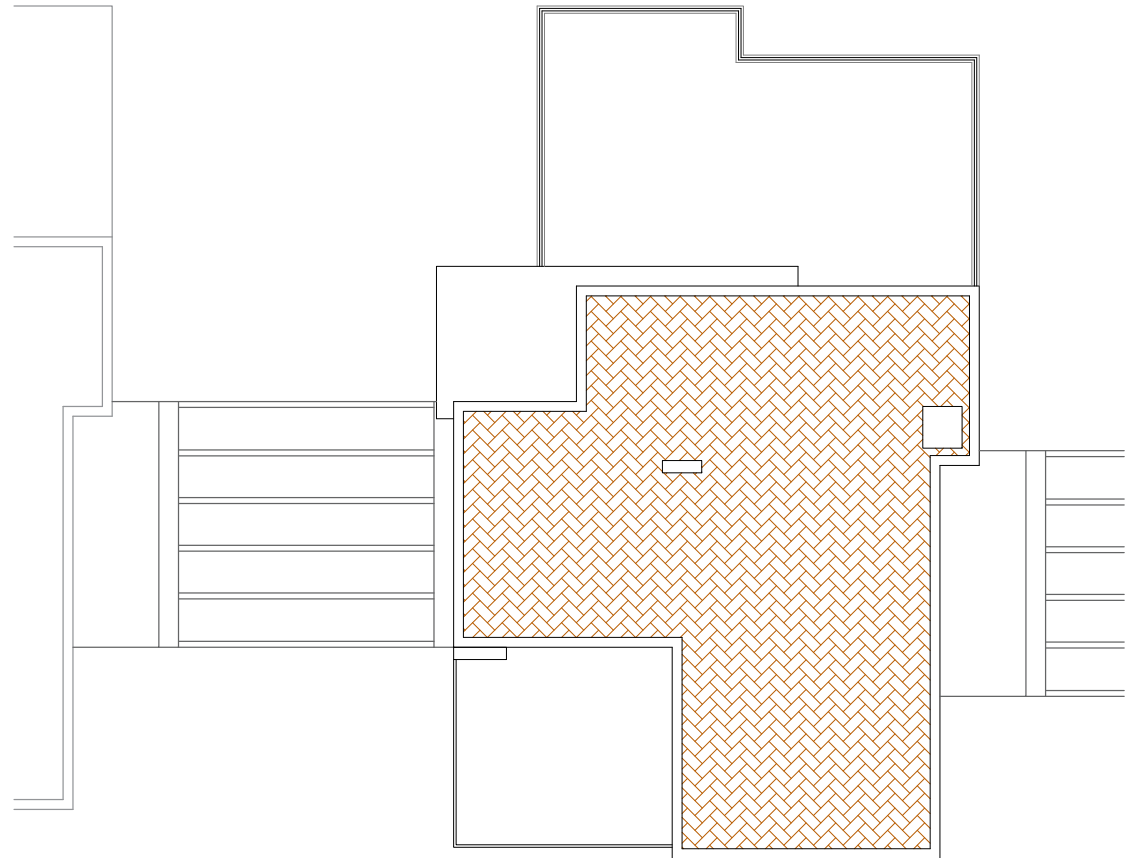
Non-contractual and merely illustrative images



PLANTA BAJA



PLANTA PRIMERA



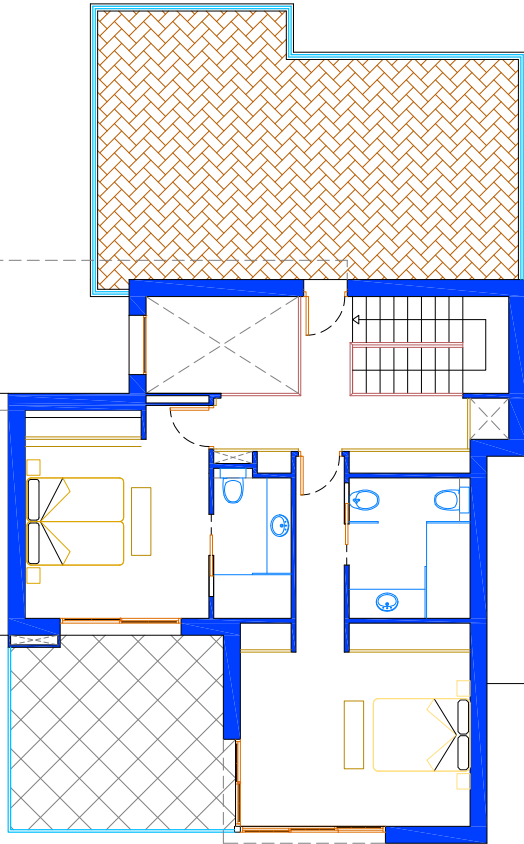
CUBIERTA

| CUADRO DE SUPERFICIES ÚTILES<br>VIVIENDAS 1-7 |          |
|-----------------------------------------------|----------|
|                                               | VIVIENDA |
| PLANTA BAJA                                   |          |
| Porche - Garaje                               | 30,00    |
| Cuarto de instalaciones                       | 8,00     |
| Porche entrada                                | 6,00     |
| Recibidor + distribuidor                      | 11,35    |
| Escalera                                      | 7,10     |
| Estudio                                       | 12,75    |
| Dormitorio 1                                  | 18,70    |
| Baño 1                                        | 5,65     |
| Cocina                                        | 15,20    |
| Lavadero                                      | 6,00     |
| Salón - Comedor                               | 39,15    |
| Porche - Terraza                              | 18,60    |
| PLANTA PRIMERA                                |          |
| Distribuidor                                  | 9,70     |
| Dormitorio 2                                  | 23,30    |
| Baño 2                                        | 7,25     |
| Dormitorio 3                                  | 16,40    |
| Baño 3                                        | 4,80     |
| Terraza descubierta 1                         | 43,95    |
| Terraza descubierta 2                         | 18,50    |
| TOTAL VIVIENDA                                | 302,40   |

| CUADRO DE SUPERFICIES CONSTRUIDAS<br>VIVIENDAS 1-7 |                     |                     |
|----------------------------------------------------|---------------------|---------------------|
|                                                    | CONSTRUIDAS<br>(m2) | COMPUTABLES<br>(m2) |
| PLANTA BAJA                                        |                     |                     |
| Cerrado                                            | 139,25              | 139,25              |
| Porche terraza                                     | 18,10               | 9,05                |
| Auxiliares                                         | 8,50                | 8,50                |
| PLANTA PRIMERA                                     |                     |                     |
| Cerrado                                            | 80,50               | 80,50               |
| TOTAL VIVIENDA                                     | 246,35              | 237,30              |

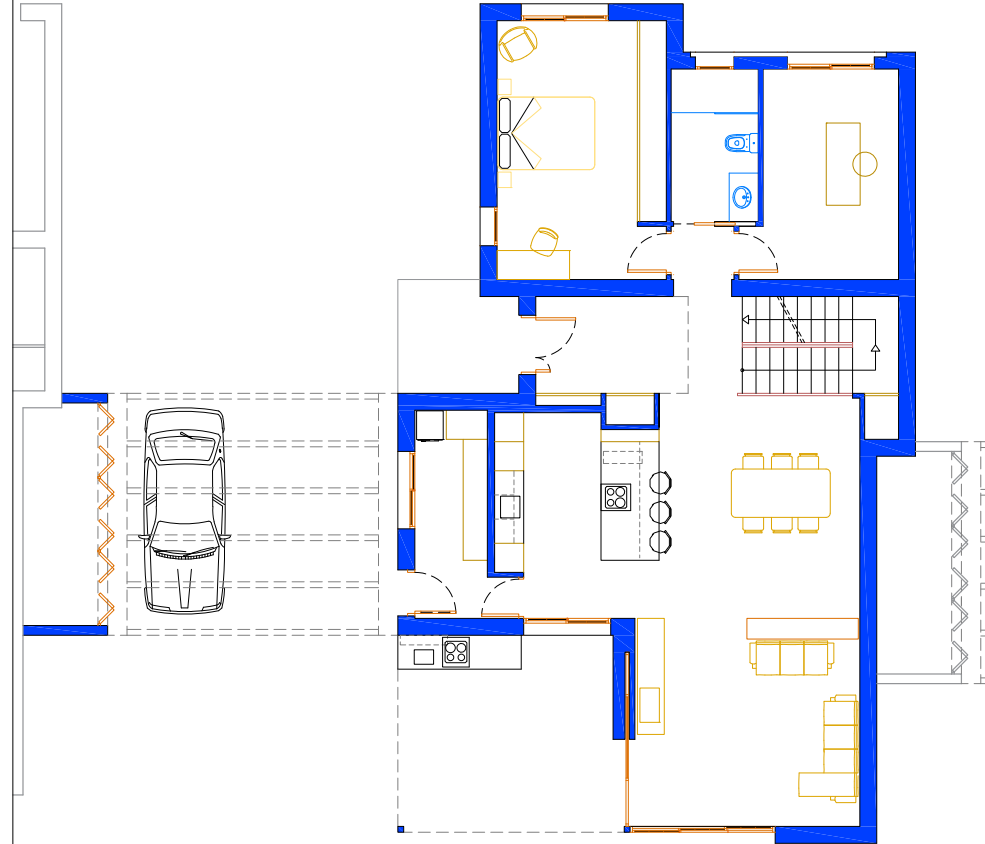
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|                                                                                                                                                                             |                                                           |                        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------|------------------------|
| PROYECTO<br>BÁSICO Y<br>EJECUCIÓN                                                                                                                                           | 8 VIVIENDAS UNIFAMILIARES ADOSADAS CON PISCINA            | REFERENCIA<br>20/047   |
| SITUACIÓN<br>PROMOTOR                                                                                                                                                       | PARCELA RES 1 BELLO HORIZONTE III<br>VENTA Y POSTVENTA SL | FECHA<br>JUNIO<br>2024 |
| PLANO                                                                                                                                                                       | PLANTAS VIVIENDAS 1-7<br>COTAS Y SUPERFICIES              | ESCALA<br>1/100        |
| LUIS HERNANDEZ ANDRADA<br>Arquitecto col.: 04205<br>C/ A LLARGUES 1-1ªB -ALTEA-<br>Tfno: 965.842.183 e-mail: proyectos.estudioha@gmail.com Redactor: Luis Hernández Andrada |                                                           | PLANO N.<br>10         |



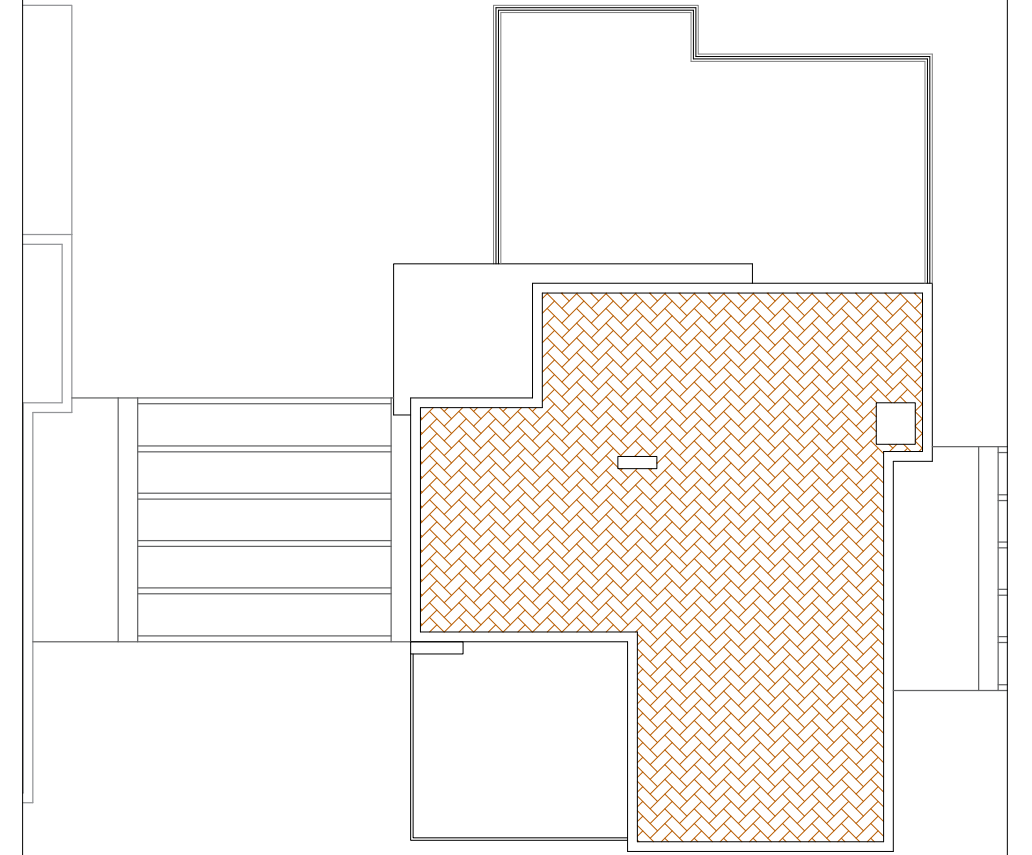
PLANTA PRIMERA

VIVIENDA 1-7



PLANTA BAJA

VIVIENDA 1-7



CUBIERTA

VIVIENDA 1-7

The interior layout may vary slightly



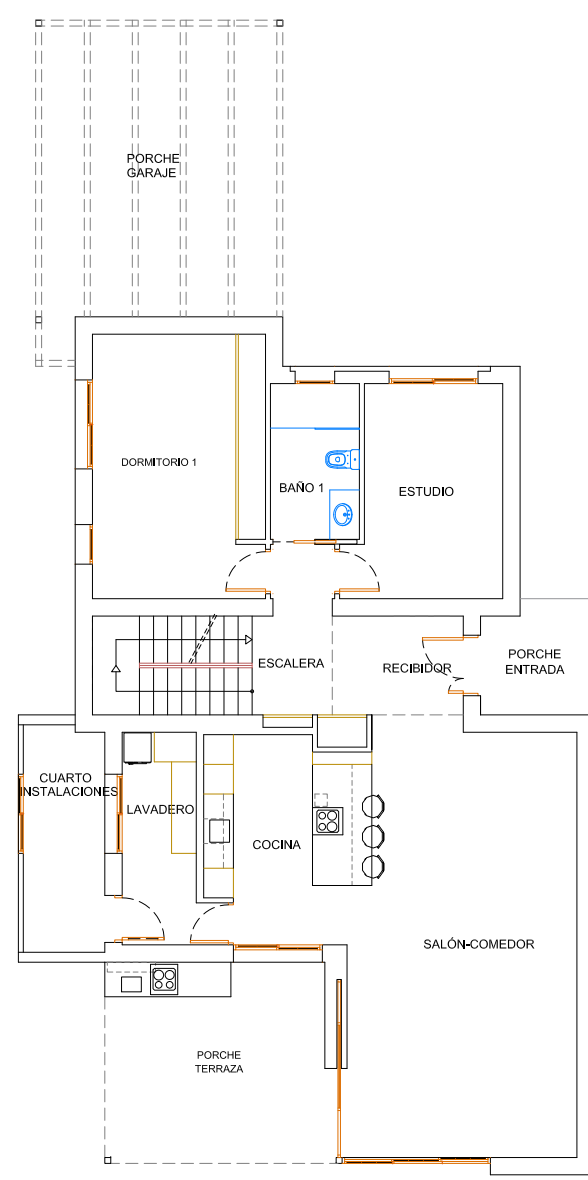
Non-contractual and merely illustrative images



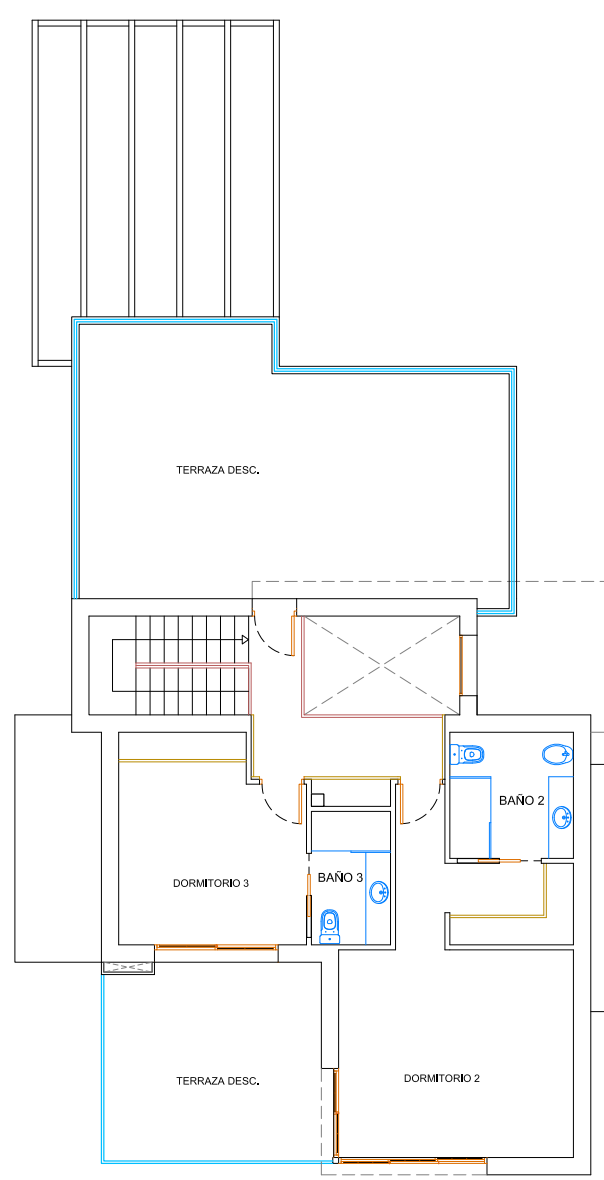
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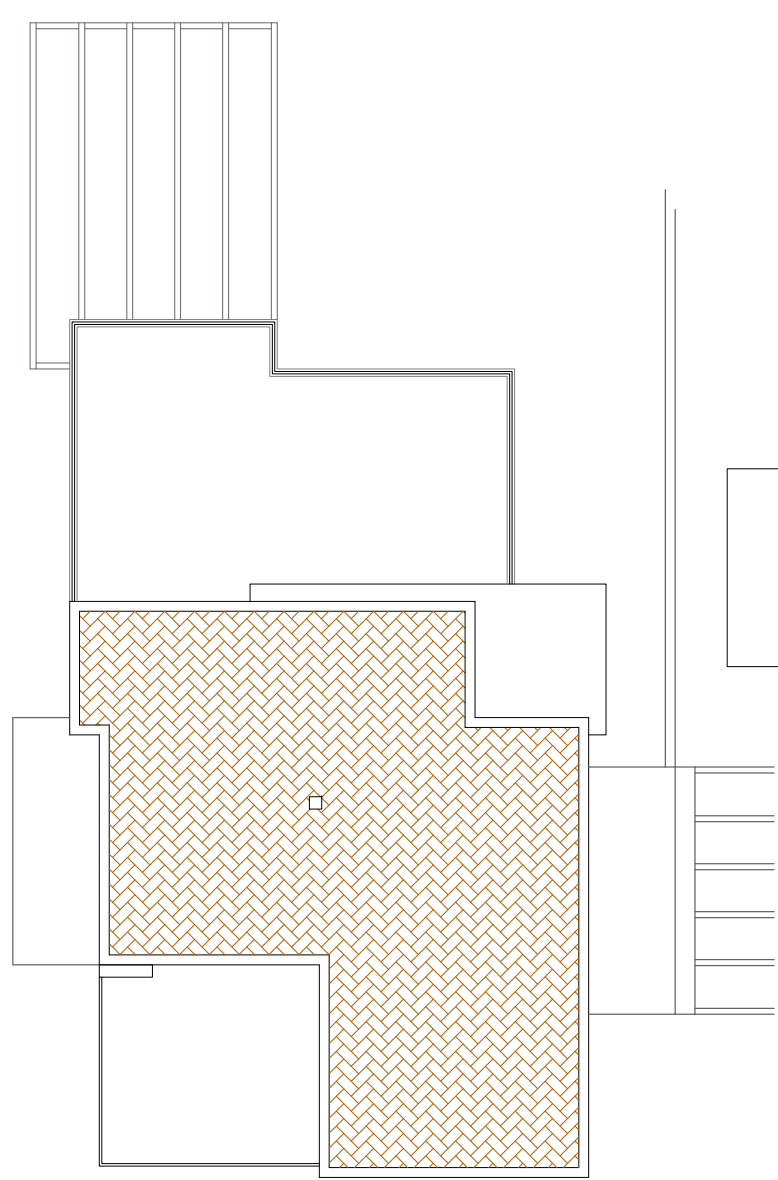
Non-contractual and merely illustrative images



PLANTA BAJA



PLANTA PRIMERA



CUBIERTA

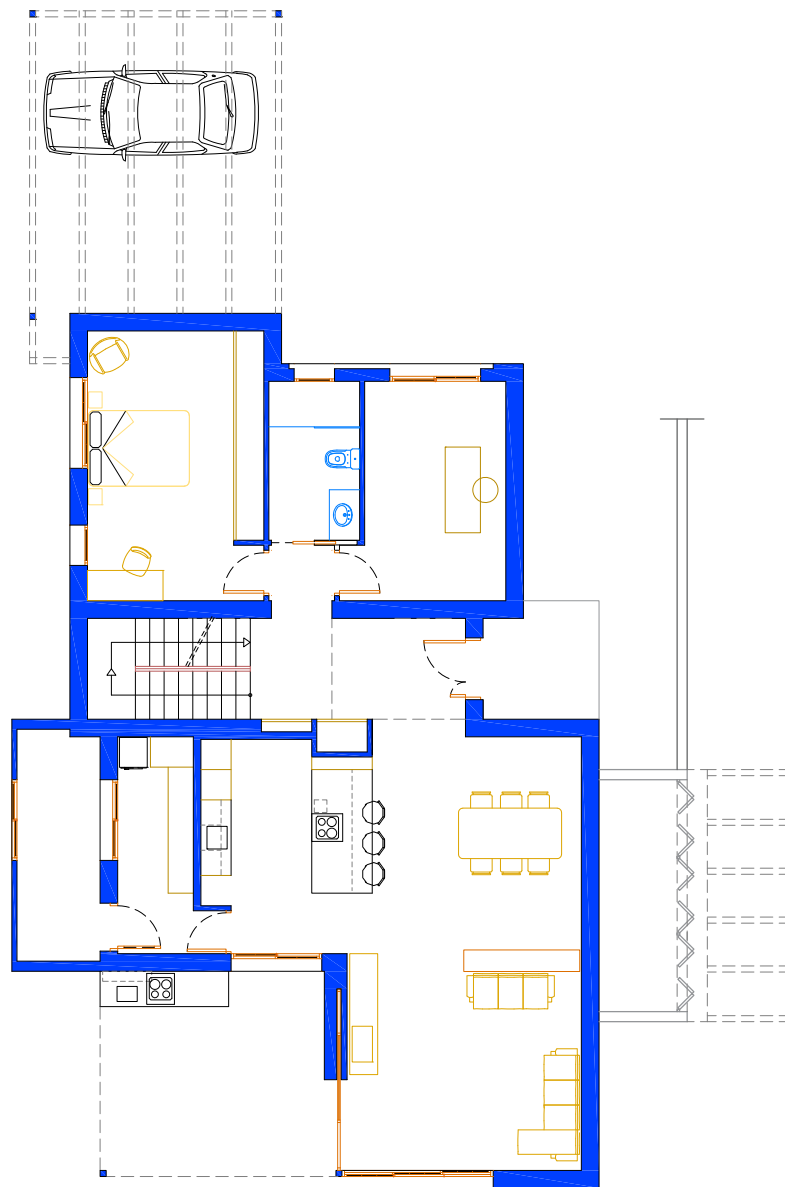
| CUADRO DE SUPERFICIES ÚTILES |          |
|------------------------------|----------|
| VIVIENDA 8                   |          |
|                              | VIVIENDA |
| PLANTA BAJA                  |          |
| Porche - Garaje              | 30,00    |
| Cuarto de instalaciones      | 7,50     |
| Porche entrada               | 5,10     |
| Recibidor + distribuidor     | 11,35    |
| Escalera                     | 6,45     |
| Estudio                      | 12,75    |
| Dormitorio 1                 | 18,70    |
| Baño 1                       | 5,65     |
| Cocina                       | 15,20    |

| Cocina                | 15,20         |
|-----------------------|---------------|
| Lavadero              | 6,00          |
| Salón - Comedor       | 39,15         |
| Porche - Terraza      | 18,60         |
| PLANTA PRIMERA        |               |
| Distribuidor          | 7,90          |
| Dormitorio 2          | 27,60         |
| Baño 2                | 6,35          |
| Dormitorio 3          | 15,15         |
| Baño 3                | 4,30          |
| Terraza descubierta 1 | 43,60         |
| Terraza descubierta 2 | 18,50         |
| <b>TOTAL VIVIENDA</b> | <b>299,85</b> |

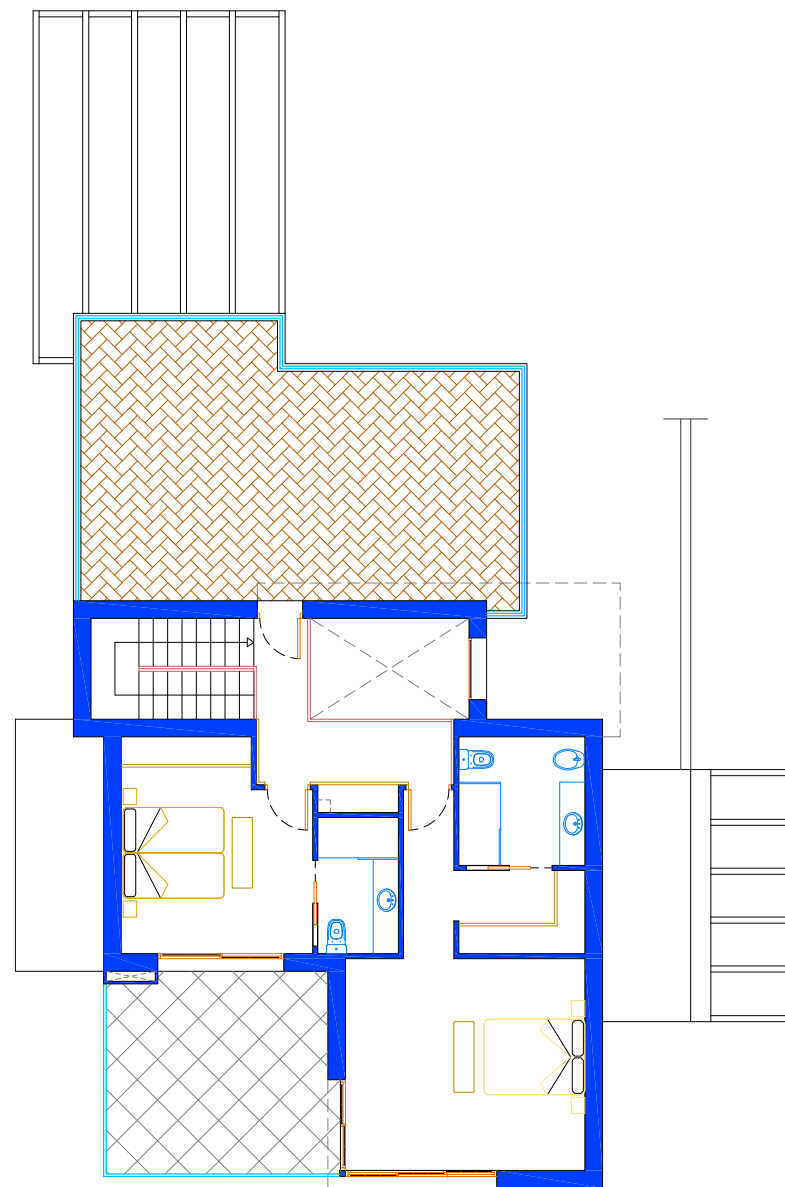
| CUADRO DE SUPERFICIES CONSTRUIDAS |                  |                  |
|-----------------------------------|------------------|------------------|
| VIVIENDA 8                        |                  |                  |
|                                   | CONSTRUIDAS (m2) | COMPUTABLES (m2) |
| PLANTA BAJA                       |                  |                  |
| Cerrado                           | 138,40           | 138,40           |
| Porche terraza                    | 18,10            | 9,05             |
| Auxiliares                        | 8,55             | 8,55             |
| PLANTA PRIMERA                    |                  |                  |
| Cerrado                           | 79,55            | 79,55            |
| <b>TOTAL VIVIENDA</b>             | <b>244,60</b>    | <b>235,55</b>    |

The interior layout may vary slightly

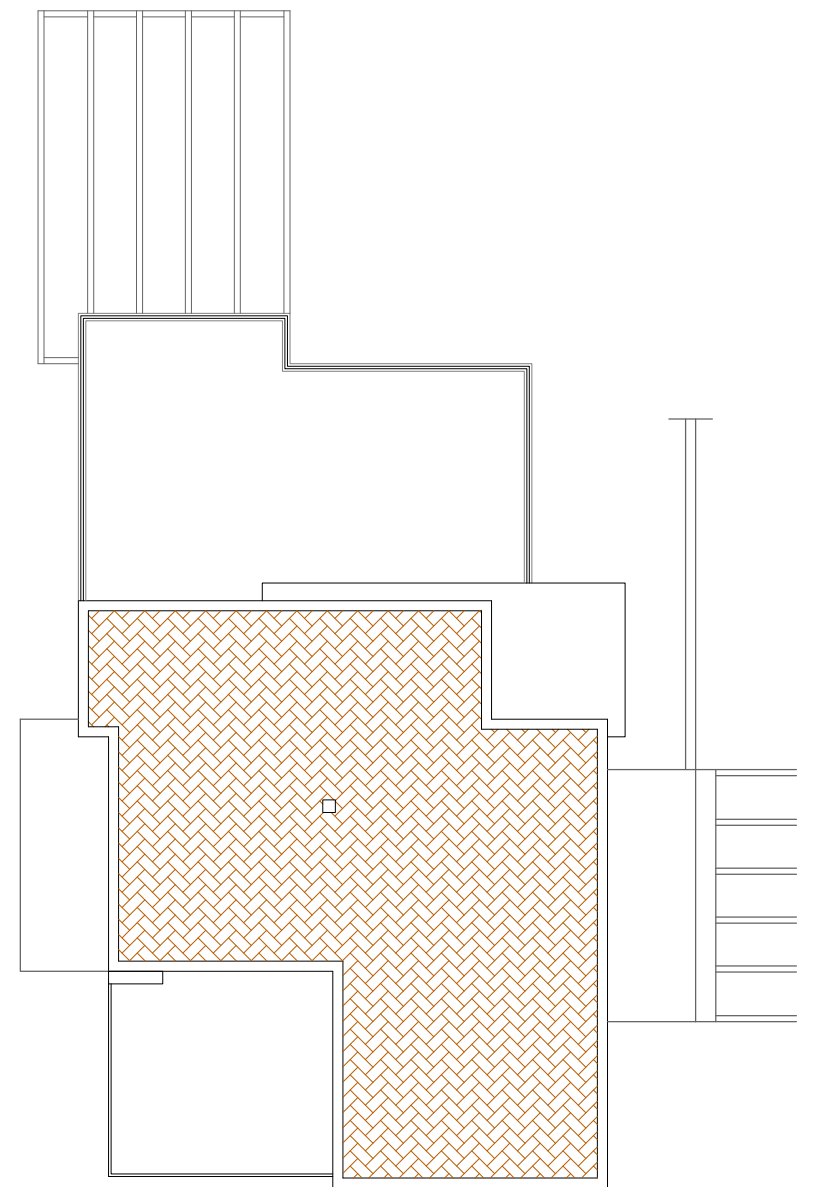
|                             |                                                                                                                                                                                 |                      |
|-----------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|
| PROYECTO BÁSICO Y EJECUCIÓN | 8 VIVIENDAS UNIFAMILIARES ADOSADAS CON PISCINA                                                                                                                                  | REFERENCIA<br>20/047 |
| SITUACION<br>PROMOTOR       | PARCELA RES 1 BELLO HORIZONTE III<br>VENTA Y POSTVENTA SL                                                                                                                       | FECHA<br>JUNIO 2024  |
| PLANO                       | PLANTAS VIVIENDA 8<br>COTAS Y SUPERFICIES                                                                                                                                       | ESCALA<br>1/100      |
|                             | LUIS HERNANDEZ ANDRADA<br>Arquitecto col.: 04205<br>C/ A LLARGUES 1-1ºB - ALTEA-<br>Tfno: 965.842.183 e-mail: proyectos.estudioho@gmail.com<br>Redactor: Luis Hernández Andrada | PLANO N.<br>11       |



PLANTA BAJA  
VIVIENDA 8



PLANTA PRIMERA  
VIVIENDA 8



CUBIERTA  
VIVIENDA 8

The interior layout may vary slightly



Why Ytong system is the most suitable alternative for an ecologically efficient home.

### Excellent thermal insulation

Reduces temperature fluctuations in both winter and summer. This means that in cold weather the interior will be warmer and in hot weather the interior will be cooler, saving on heating and air conditioning costs. Ytong's thermal properties do not deteriorate over time, but remain guaranteed for life.

### Humidity regulator

It is a breathable material, allowing water vapor produced by the occupants to pass through. This hydro regulation is essential to avoid all risks of humidity, condensation and the appearance of fungi. Thanks to these properties, a healthy environment is created, avoiding condensation problems on the exterior walls.

### Acoustics

The sound absorption capacity of YTONG cellular concrete is 5 to 10 times higher than that of smooth materials. The micro-alveolar structure of YTONG cellular concrete contributes positively to complying with current sound insulation regulations with a sound insulation Ra of between 47 and 48 dBA.

### Eco-friendly

Ytong cellular concrete is a 100% mineral material with no chemical components or volatile organic components, making it totally recyclable, 100% healthy and sustainable. All the raw materials used to make Ytong are present in nature, making cellular concrete totally recyclable and minimizing the impact on the environment.

### Fire Protection

In the event of a fire, cellular concrete retains all its characteristics. Ytong blocks are non-combustible, do not deform and do not emit toxic gases. In addition to containing the fire, Ytong blocks also prevent the spread of heat, flames and gases generated.



# Specifications.

## Structure

Foundations made of HA-30 reinforced concrete resistant to sulphates and slabs executed on site with HA-25 type concrete. Load-bearing walls with 30cm thick Ytong block which guarantees: especially used to guarantee the thermal and acoustic insulation of homes. Ytong cellular concrete is a 100% mineral material without chemical components or volatile organic components, being totally recyclable, 100% healthy and sustainable. Humidity control to prevent mould formation. Comfort in summer and winter.

## Roof

Flat roof, walkable in the solarium area and non-walkable in the installation area, self-protected, thermal insulation based on rigid water-repellent mineral wool panels and double -layer waterproofing with modified bitumen sheets.

## Partitions

Partitions made with multiple layers of laminated plasterboard made up of 4 plasterboards, two normal and two waterproof, and acoustic insulation using a semi-rigid mineral wool panel. Guaranteeing optimal acoustic insulation between rooms.

## Coatings

Exterior cladding with a lime mortar finish and final paint, decorative finish on the façade and barbecue area with natural stone such as Bateig or similar. Continuous interior cladding of load-bearing walls with fine plaster. Cladding of wet areas with large-format glazed porcelain stoneware pieces . Continuous, suspended, smooth false ceilings on a hidden galvanized steel structure.

## Pavings

Interior flooring with porcelain stoneware pieces on a self-levelling mortar base and on terraces with non-slip porcelain stoneware tiles , ceramic skirting boards of the same model as the flooring. Printed concrete flooring in private vehicle access. Natural grass on the main facade of the plot.

## Exterior carpentry

CAuminium carpentry for windows and doors series 3500RT and 4200 RT with thermal break, lacquered with Qualicoat seal and double tempered glazing, low thermal emissivity 4/10/4 + 4, with dehydrated gas chamber . Railings inside and outside without visible profiles, transparent laminated safety glass shelves.

## Interior Carpentry

Passage doors and wardrobe fronts in smooth white lacquered wood, floor-to-ceiling concealed hinges and black hardware Technical security door for access to the home, composed of a reinforced metal profile with an internal steel core and thermoacoustic insulation, multi-layer Iroko wood finish, 3-point security lock and external security shield with double clutch anti-bumping cylinder and concealed hinges

## Plumbing and Sanitary Installation

Roca or similar brand sanitary furniture with minimalist lines and built-in tank, extra-flat shower tray and top-quality Hansgrohe or similar taps. Bathroom furniture made of water-repellent natural walnut wood.

## Air Conditioning

Independent underfloor heating system in each room, and air conditioning, also zoned, and 200Lt DHW tank with heat recovery.

## Security System

Alarm pre-installation inside and outside the home .

**Home Automation**Home a utomation installation with touch screen for interior and exterior lighting control, curtain control in rooms, water and smoke leaks, and video intercom.

**Photovoltaic** Instalation 2675 Wp photovoltaic installation with monocrystalline panels mounted on a flat roof.

## Electrical Installation

Recessed light points, socket bases and push buttons in clean lines, Simon brand or similar, matt or white aluminium finishes. Installation of exterior sockets. . Installation of lighting throughout the interior of the house, porthole type. Installation of spotlights and LED strips in the outdoor area. Installation of collective antenna points, FM and telephone according to ICT regulations, pre-installation of internet channelling for fibber optic accommodation, Installation of motorization of the entrance door to the residential area and to each home with remote control. Telecommunications installation. Pre-installation for charging electric vehicles.

**Rooms** : All rooms are equipped with blackout curtains and sheers, installed on a double motorized track with remote control. These technical curtains are specifically designed to block up to 100% of outside light and provide excellent thermal insulation, improving the comfort and privacy of each room.

**Bioclimatic Design** Homes designed with the orientation, construction procedures and ideal materials to guarantee the optimization of energy use, designed with bioclimatic pergolas for terraces that, thanks to their adjustable slats, allow the passage of sunlight to be regulated for its use as a thermal and light resource.

**Kitchen and Gallery** In the kitchen; Furniture in functional design, lines and hidden handles. Appliances from Siemens, consisting of a built-in hood in the ceiling, induction hob, dishwasher, oven, refrigerator and microwave, single-bowl sink. In the Gallery; Furniture in white gloss finish Washer dryer, single-bowl sink.

**Garden and Swimming pool** Swimming pool finished with porcelain stoneware tiles, featuring a built-in staircase and LED lighting. Saltwater chlorination system and optional heating. Garden with artificial turf on the main facade, automatic irrigation system, and perimeter lighting

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# Table of measurements and prices of delivered homes according to project and Quality Report.

| Villa        | Energy coefficient | Bedrooms | Baths | m² Plot | Coefficient participation | m² Built  | m² useful | Prices      | Availability |
|--------------|--------------------|----------|-------|---------|---------------------------|-----------|-----------|-------------|--------------|
| 1            | A                  | 4        | 3     | 563m²   | 11,07 %                   | 246,35 m² | 302,40 m² | 1.186.000 € | FEBRERO 2027 |
| 2            | A                  | 4        | 3     | 552 m²  | 10,86 %                   | 246,35 m² | 302,40 m² | 1.182.000 € | MAYO 2027    |
| 3            | A                  | 4        | 3     | 552 m²  | 10,86 %                   | 246,35 m² | 302,40 m² | 1.182.000 € | JUNIO 2027   |
| 4            | A                  | 4        | 3     | 551 m²  | 10,84 %                   | 246,35 m² | 302,40 m² | 1.185.000 € | JULIO 2027   |
| 5            | A                  | 4        | 3     | 577 m²  | 11,35 %                   | 246,35 m² | 302,40 m² | 1.190.000 € | MAYO 2028    |
| 6            | A                  | 4        | 3     | 629 m²  | 12,37 %                   | 246,35 m² | 302,40 m² | 1.200.000 € | JUNIO 2028   |
| 7            | A                  | 4        | 3     | 666 m²  | 13,10 %                   | 246,35 m² | 302,40 m² | 1.200.000 € | JULIO 2028   |
| 8            | A                  | 4        | 3     | 994 m²  | 19,55 %                   | 244,35 m² | 302,40 m² | 1.320.000 € | AGOSTO 2028  |
| Common space |                    |          |       | 806 m²  |                           |           |           |             |              |

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## **PROMOTER : VENTA & POSTVENTA SL**

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## **CONSTRUCTION COMPANY : TYOSA SL**

**CALLE OLIVERES 4 , 03590 ALTEA**

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